

**ALLANA BUICK & BERS**

Making Buildings  
Perform Better

## Extreme Makeovers

Hawaii Buildings, Facilities and Property Management Expo

**Presented by:**

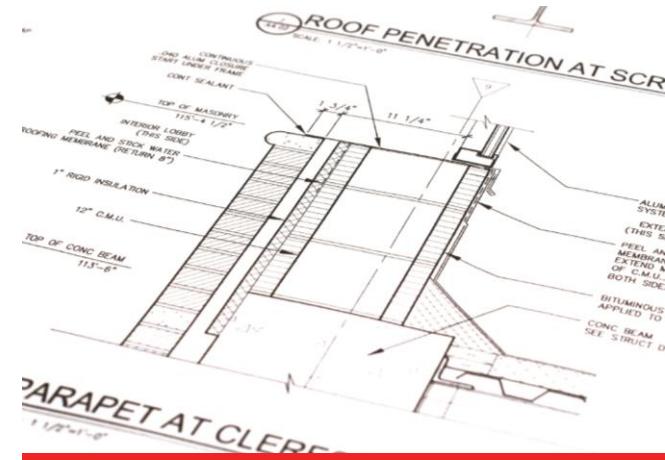
**Gerson Bers, LEED AP**

**Principal**

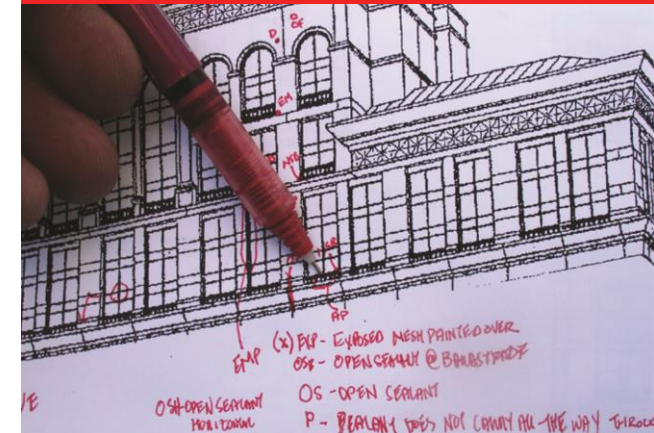
# Extreme Makeovers

## Design Phase:

- Initial investigation and assessment
- Building Code and Zoning Research
- Budget and Reserves Review
- Reporting and Decision-making
- Schematic Design (35%)
- Design Development (55%)
- Construction/Bid Documents (100%)
  - Plans, Specifications/Project Manual
- Bidding/Contract Negotiations
- Permitting/Entitlements



## Design Activities



# Extreme Makeovers

## Construction Phase:

- Field/work observations & reporting
- Monitoring
- Submittal Review
- Payment Application Review
- Schedule and Client Coordination
- Periodic Meetings and Minutes
- Contractor's Questions/Requests for Information (RFI)
- Special Inspections/County Inspections
- Project Close-Out/Warranties
- Permits Close Out



Construction Phase Activities





# Investigations & Assessments, Reporting

- What's the problem?
- What is the process to fix the problem?
- Plan for investigation or reporting



5 MADE MOISTURE READ BASE ON OBSERVATION

R.M. (5)

(6) R.M.

R.M. (4)

R.M. (3)

R.M. (2)

R.M. (6)

R.M. (7)

R.M. (4)

Outrigger Maui Eldorado Kaanapali

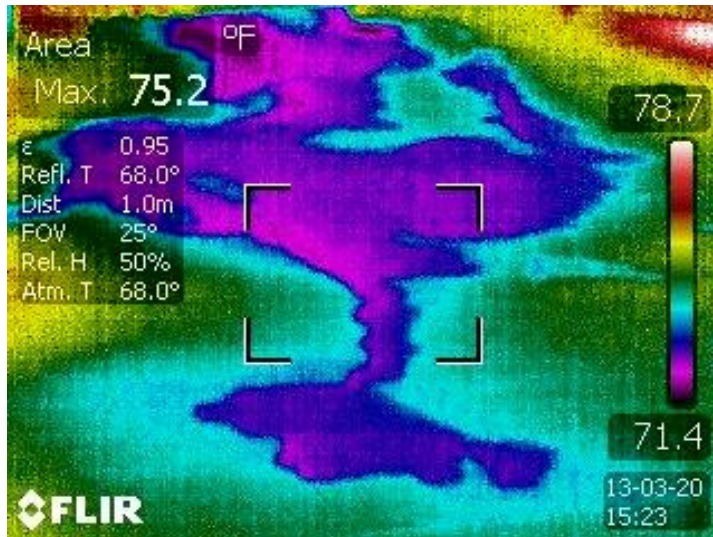




# Investigations & Assessments, Reporting



# Investigations & Assessments, Reporting



July 12, 2013 REVISED July 30, 2013

## Destructive Testing Observation Supplemental Report

Financial Plaza of the Pacific  
Honolulu, Hawai'i



Allana Buick & Bers, Inc.  
707 Richards Street, Suite 636  
Honolulu, HI 96813  
t 808.538.0115  
f 808.538.0117  
www.abbae.com

**ALLANA BUICK & BERS**

Building solutions.  
Engineering for life.

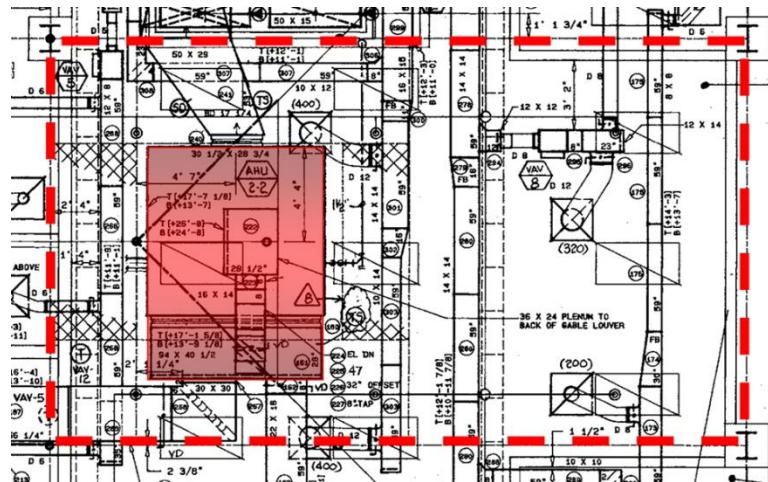
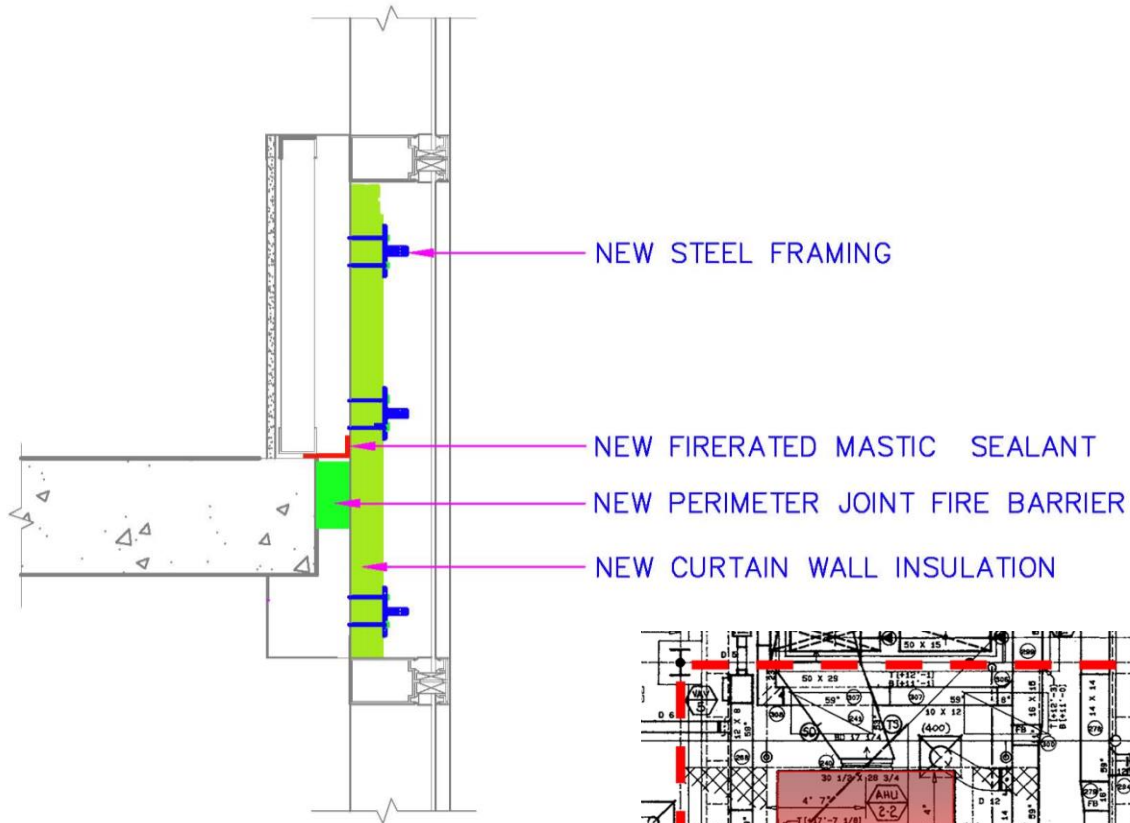
**Prepared for:**  
Bank of Hawaii  
P.O. Box 3414  
Honolulu, HI 96801

Job #13-3289.01



HONOLULU / PALO ALTO / SACRAMENTO / LOS ANGELES / SAN DIEGO / SEATTLE / LAS VEGAS / NEW YORK  
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# Investigations & Assessments, Reporting





# Investigations & Assessments, Reporting



PROJECT NAME: KA'AHUMANU HALE - ROOF & LANAI UPGRADES & IMPROVEMENTS  
LOCATION: HONOLULU, OAHU, HAWAII  
DATE: 3/26/2014  
PROJECT NO.: DAGS 12-21-7491  
PREPARED FOR: ALLANA BUICK & BERS  
SUBMITTAL: 95% SUBMITTAL

J. UNO & ASSOCIATES, INC. | 1210 Ward Avenue, Suite 204 | Honolulu, Hawaii 96814 | Telephone: 808.947.6855 | www.j-uno-associates.com



EnvironMETeo Services, Inc.  
Environmental / Industrial Health & Safety

## Asbestos and Lead Paint Survey Report

### For:

Alanna Buick & Bers Inc.  
707 Richards Street, Suite 635  
Honolulu, Hawaii 96813-4613

### Facilities Surveyed:

Kaahumanu Hale  
(Limited Areas)  
777 Punchbowl Street  
Honolulu, Hawaii 96813

### Project:

Kaahumanu Hale, Roof and Lanai Upgrades and Improvements  
DAGS Job No. 12-21-7491

### Conducted by:

EnvironMETeo Services, Inc. (EMET)  
94-520 Ukee Street, Suite A  
Waipahu, Hawaii 96797

Date of Report: July 31, 2013

EMET ID: 1304173

EnvironMETeo (EMET) Services, Inc. Waipahu Gentry Business Park 94-520 Ukee Street, Suite A Waipahu, Hawaii, USA 96797-4200  
(808) 671-8383...Telephone (808) 671-7979...Facsimile



# Investigations & Assessments, Reporting

Reports must contain:

- Condition
- Cause
- Culpability
- Correction
- Calendar
- Cost



# Investigations & Assessments, Reporting

## Client Report Review Meeting and Basis of Design Letter

- Review findings
- Compare against anticipated outcomes
- Review budget/reserves
- Strategize approach
- Reach consensus
- Invest stakeholders
- Develop scope & limits





# Construction Documents

## Schematic Design (35%)

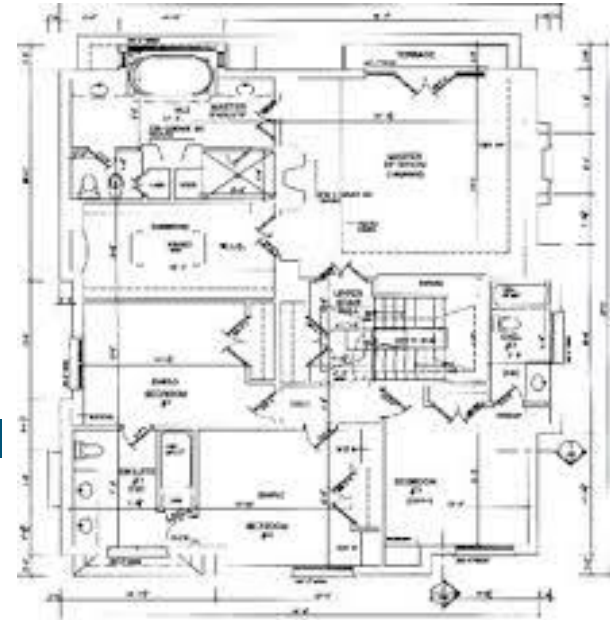
- Conduct additional investigation for the sake of design and to confirm findings. Conduct destructive testing.
- Conduct environmental surveys (asbestos, lead, mold)
- Prepare base drawings/plans including:
  - Elevations
  - Plans
  - General Details
- **Prepared to AIA and standard of profession**
- Prepare outline of specifications, rules, etc. to establish materials, project quality and scope; based on CSI format
- Submit to contractor for preliminary scoping & ballpark cost



# Construction Documents

## Design Development (50%)

- Continue preparation of base drawings/plans including:
  - Elevations
  - Plans
  - General Details
- Continue preparation of project manual (specifications, rules, etc) to establish material and project quality. Review materials including colors, textures.
- Submit documents for client review.
- Prepare preliminary cost estimate to align/coordinate with budget, or to subtract/add to continue within budget; additive alternates.



# Construction Documents

## Final Documents

- Completed drawings, stamped by licensed professional engineer
- Completed project manual, stamped by licensed professional engineer
- Submit documents for client review, meet to confirm final scope and design intention.

**Carlsmith Ball LLP**  
121 Waiuanue Avenue  
Hilo, Hawaii 98720

**Roof Replacement Project**

PROJECT DATA

ABBREVIATIONS

SYMBOL LEGEND

DETAILS INDEX

BUILDING DEPARTMENT REQUIREMENTS

GENERAL NOTES

LOCATION MAP

CONTRACT DOCUMENTS  
FOR  
KAILUA DISTRICT PARK  
STRUCTURAL IMPROVEMENTS TO GYMNASIUM  
TAX MAP KEY: 4-3-056-009

FOR THE  
DEPARTMENT OF DESIGN AND CONSTRUCTION  
CITY AND COUNTY OF HONOLULU  
HONOLULU, HAWAII

JOB NUMBER: 14-P-8

ARCHITECT: ALLANA BUICK & BERS

February 26, 2015

DESIGN DEVELOPMENT SET

CALSMITH-BALL  
ROOF REPLACEMENT  
PROJECT

THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION.

04/30/16

SIGNATURE: EXPIRATION DATE OF THE LICENSE

ALLANA BUICK & BERS

Copyright 2020 Allana Buick & Bers, Inc.

6/16/2020

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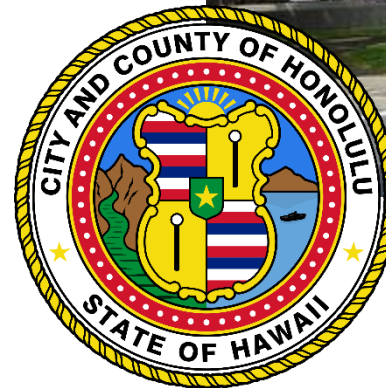
# Bidding & Negotiation

- Prepare invitation to bid
- Conduct pre-bid site walk
- Receive and respond to comments and questions, prepare Addendum(a) to address
- Receive bids in uniform date/time & format
- Tabulate information and variances
- Review with client and rank
- Negotiate with accepted bidder(s)
- Confirm and award
- Execute contract for services



# Permitting and Entitlements

- Coordinate with initial code/design parameters (International Building Code, Land Use Ordinances (State, County..))
- Collect documents and submit/route to pertinent agencies (BWS, DOH, DTS building department, etc..)
- Attend neighborhood or community board meetings, public hearings if required; especially in special design districts
- Coordinate with neighbors as required



# Construction Phase

## Construction Administration

- Pre Construction Meeting
- Field Observations
- Submittals Review
- Project Documentation
- Contractor RFI's
- Contractor Payment





# Construction Phase



# Construction Phase



# Construction Phase

## Project Close Out

- **Project Closeout Documents**

- Warranties (Contractor and Manufacturer), 3rd Party Inspector Reports
- Lien Releases
- Retention Release to Contractor
- Bond Release
- Special Inspector Reports
- Certificate of Occupancy/Final Inspection and Permit Closeout

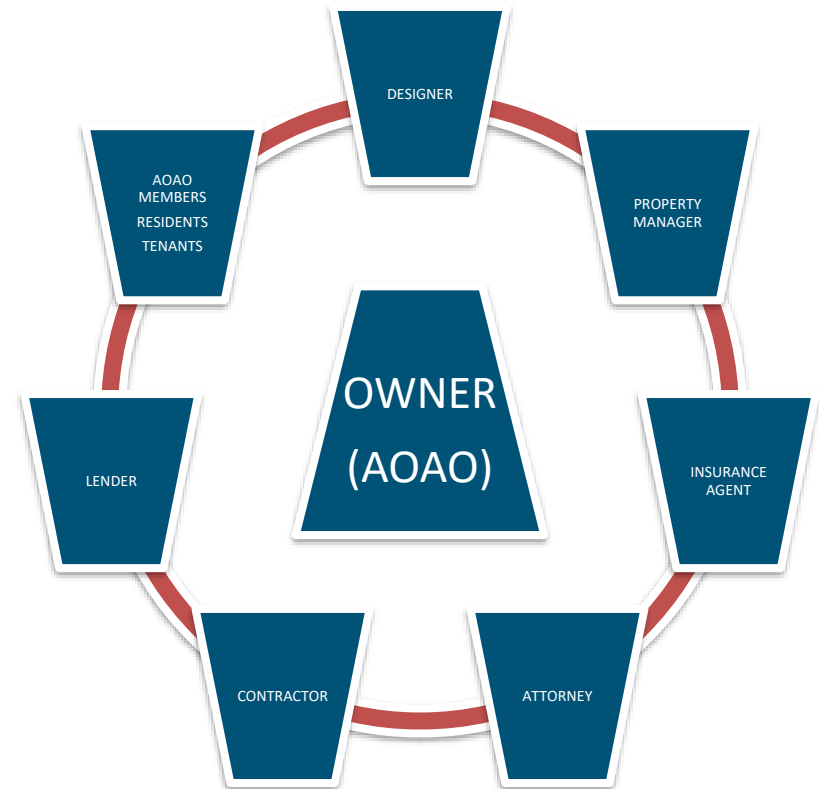




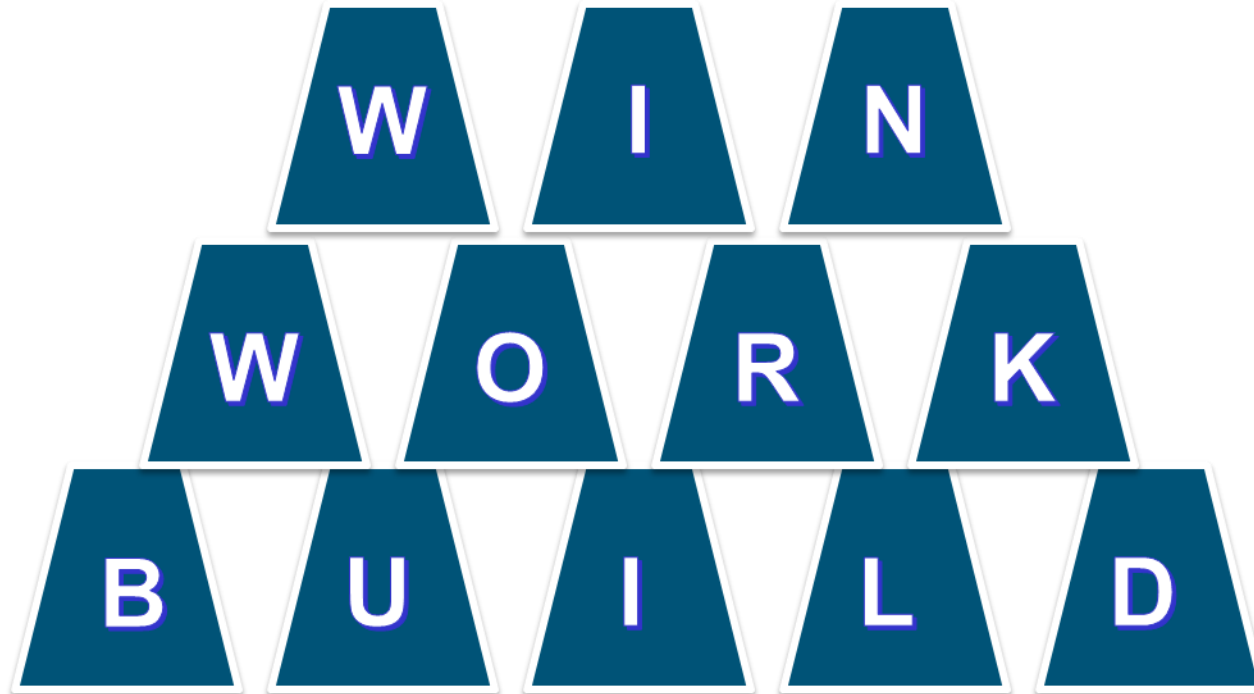
# Extreme Makeovers

## Affected participants:

- BOD / AOA
- Owners/Tenants
- Visitors/Guests
- Property Manager
- Resident or Site Manager
- Designers/Licensed Professional Consultants
- Contractors and Sub Contractors
- Lenders/Financiers
- Attorneys
- Insurance Agents/Underwriters Bond Holders
- Neighbors/Community



# Extreme Makeovers



# Extreme Makeovers

**Before:**

**KAHEKILI TERRACE  
Hawaii Public Housing Authority  
Wailuku, Maui**



# Extreme Makeovers

After:

**KAHEKILI TERRACE**  
**Hawaii Public Housing Authority**  
**Wailuku, Maui**

***Frank RICE TO PROVIDE***





# Extreme Makeovers

Before:

**IBM BUILDING**

**Howard Hughes/Woods Bagot**

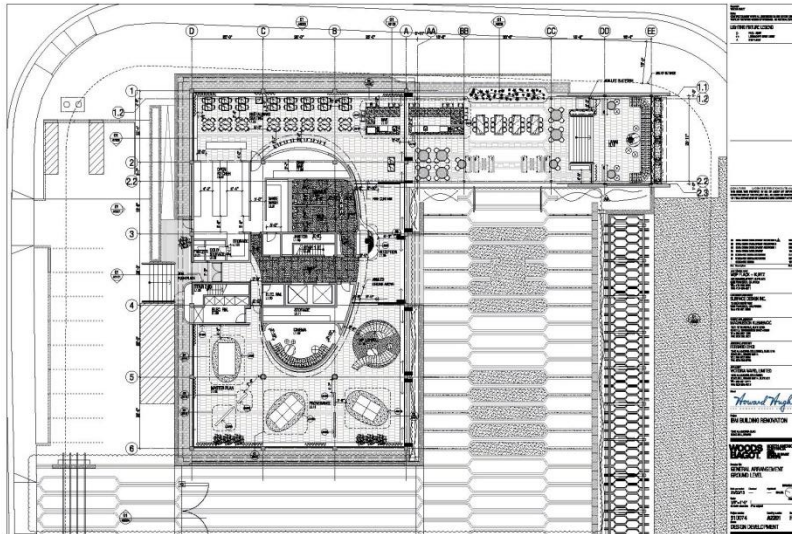
**Kaka'ako, O'ahu**



# Extreme Makeovers

After:

**IBM BUILDING**  
**Howard Hughes/Woods Bagot**  
**Kaka'ako, O'ahu**





# Extreme Makeovers

Before:

**WAIKIKI MODERN HOTEL**  
(formerly the Ilikai Yacht Harbor  
Tower)  
Waikīkī, O'ahu



# Extreme Makeovers

After:

**WAIKIKI MODERN HOTEL**  
(formerly the Ilikai Yacht Harbor  
Tower)  
Waikīkī, O‘ahu





# Extreme Makeovers

**Before:**

**Aston at Papakea Resort  
Ka'anapali, Maui**



# Extreme Makeovers

**After:**

**Aston at Papakea Resort  
Ka'anapali, Maui**





# Extreme Makeovers

**Before:**

**1350 Ala Moana  
Kaka'ako, O'ahu**



# Extreme Makeovers

**After:**

**1350 Ala Moana  
Kaka'ako, O'ahu**





# Extreme Makeovers

**Before:**

**J.W. Marriott Ihilani Resort & Spa  
Kō Olina, O'ahu**



# Extreme Makeovers

After:

**J.W. Marriott Ihilani Resort & Spa**  
**Kō Olina, O'ahu**



# Extreme Makeovers

**SUMMATION-----**

